



Aurora  
— HEIGHTS —  
MANAGEMENT LTD.

ARCHITECTURAL CONTROLS

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## ❖ *Preface*

These guidelines are intended to serve as the directing document for design of new home construction within the Aurora Heights community in Blackfalds. Neither the developers of Aurora Heights nor their consultants shall assume any liability whatsoever for the specification, workmanship, or installation of materials and/or products referenced within these guidelines. Similarly, the developers of Aurora Heights make no representation, promotion or warrant any products referenced by these guidelines.

The application, interpretation, and enforcement of these guidelines are at the sole discretion of the developers of Aurora Heights, and reserve the right to revise these guidelines without notice.

These guidelines are supplemental to applicable legislation, bylaws, and associated permits. It remains the responsibility of the individual home/lot owner and associated contractors to meet applicable municipal requirements, building code requirements, and good construction practices.

## ❖ *Introduction*

### *Overview*

Aurora Heights is a planned community exhibiting professional planning, engineering and architectural controls. The architectural controls establish a direction for residential design within the community. This is a comprehensive set of guidelines intended to create architectural and planning values while allowing for individual taste.

These design guidelines are also intended to provide consistency of appearance, provide the visual framework of the community, and set out to ensure all home construction meets expectations. By adhering to the Architectural Controls, residents of Aurora Heights will help the social growth as well as the economic value of their community.

The architectural controls are intended to establish visual and social continuity for the community. It is further expected that the individual homeowners will continue to support the design values far beyond the initial construction period.



## ❖ *Background Context*

The Aurora Heights community will be based upon a new interpretation of heritage architecture, simplified and adapted to meet today's design vocabulary, and living needs. This style will also be adjusted to meet the needs of current market demands and construction methods.



## ❖ *Site Planning*

### *Home Placement and Siting*

Home siting must be consistent with garage/driveway placement plans where applicable and all homes must comply with the approved setback plan.

Side yard and rear yard setbacks are established by the Town of Blackfalds according to Land Use Bylaw requirements. Homes located in cu-de-sacs or similar situations should be placed with the front elevation more or less parallel to the front property line. House placement must create two equal side yards, with no one side yard measuring more than 3m at the building face (front elevation).

Setbacks must be consistent with the approved setback plan (Schedule 'A'). Homes on lots with "open" setbacks may not be closer than 6.0m to the front property line, and should not be located farther back than 8.0m from front property line. Setbacks may be adjusted at the discretion of Aurora Heights.

House placement should consider sight lines from living areas, placement of decks and patios, and the location of adjacent homes or special features such as parks or similar natural features. Site and architectural design should take advantage of positive sight lines and should also maximize privacy and desired sun angles where possible.

### *Grading, Floor Heights, and Drainage*

**Final landscape grading must be consistent with approved grade certificates and design grades as established by the developer and/or the Municipal Approving Authority. It remains the responsibility of each home builder / contractor to manage grading and drainage for the site in accordance with Alberta Building Code requirements, municipal requirements, and good construction practices.** Surface drainage may not drain onto or through an adjacent property. On side slope lots, it is the responsibility of the lot owner on the high side to ensure that surface water does not drain onto the lower adjacent property.

Houses with back to front slopes must be graded so that drainage does not pool at the back of house, and all required berms at the rear property line (where applicable) are constructed.

Designated walk-out lots have been engineered for traditional bungalow or two storey homes with full depth (8' or 9') basements. Applications for bi-level, raised bungalows or similar home designs on full walk-out lots will be refused. Lots designated as transitional or split level grading may accommodate a walk-out basement subject to lot grading, house plan design, and landscape treatment (retaining). Lot grading must be consistent with Grade Certificate requirements. Landscaping, retaining, and similar requirements necessary to construct a walk-out basement (or partial walk-out) are the sole responsibility and cost of the home builder and/or their client.

Lowest allowable elevations for top of footings are established on the approved Grade Certificate. Suggested top of joist/top of footing grades will be provided at the time of Architectural Controls Approval, and will be based upon submitted information. It is the responsibility of each builder to manage design requirements such as basement wall heights, window placement, and window wells in accordance with Alberta Building Code requirements and good construction practices. Changes to proposed footing elevations and top of joist elevations must be sent to the developer for review and approval prior to construction.

Front finished landscape grades must correspond with the grades set on the Grade Certificate. The front landscape grade unless otherwise agreed upon is deemed to be the closest face of the house (or garage) to the front property line. All grades must meet the rear landscape grade on the approved Grade Certificate (+/- 100mm).

To avoid a tall unbalanced appearance, main floor heights will be limited to a maximum of 1m ( or approximately 5 risers ) above the proposed finished grade. Homes proposed with a main floor height greater than 1m (39" or approximately 5 risers) height above finished grade will be reviewed on an individual basis, and additional landscape requirements may be imposed.

### *Corner Lots and High Visibility Lots*

High visibility lots are found on corners, collector roads, and similar locations that require the best presentation of architecture to the community due to the prominence and public exposure of these sites. High visibility lots may require additional detailing and design work to meet the community expectation.

Homes on corner lots fully exposed to two street fronts must be designed to present fully finished facades to both exposed streets. These lots will generally be limited to bungalows or homes presenting a one storey height to the side street. These houses must be oriented the same direction as adjacent homes. 2 storey homes may be considered if the eave line is set at the same height as a bungalow, or if the setback and design qualities of the home will soften the visual impact and mass.



**This**



**Not This**

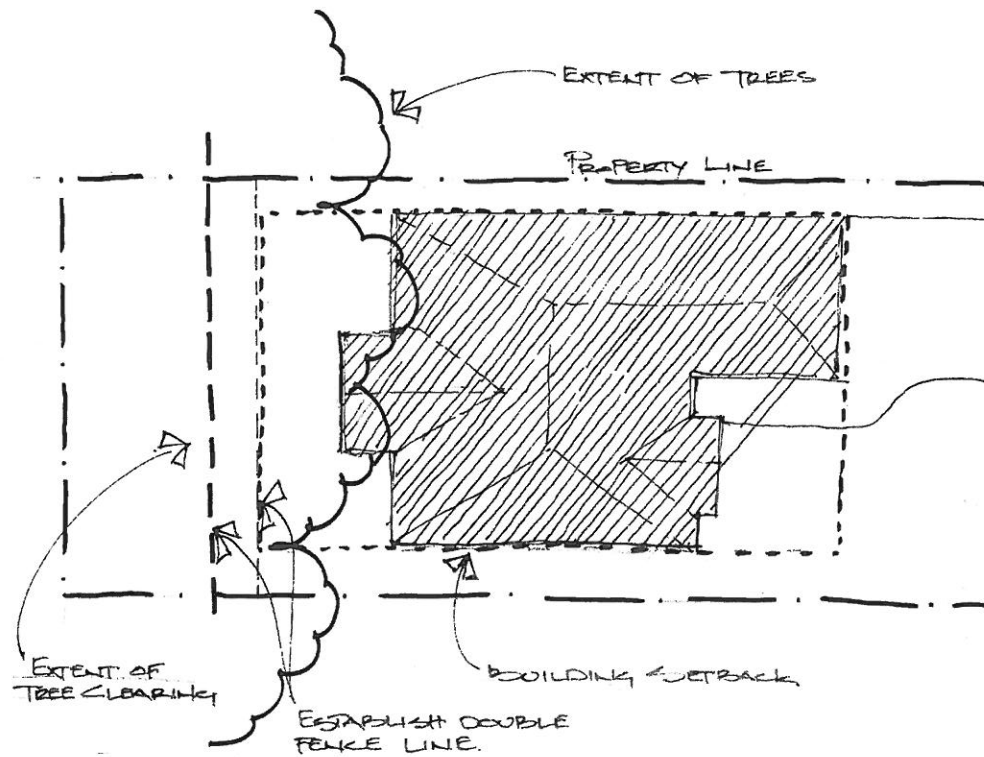
Rear elevations of houses backing onto public parks, pathways and collector roads should be finished to a level comparable to the front elevation. Minimum design detail includes:

- Trim around all windows and doors
- Roof and eave design to match the front elevation
- Deck fascia and railings painted/stained to match the house.
- Finished cladding for all exposed deck beams.
- Finished soffit for all decks above 2m in height.
- Columns must be built out and detailed to match the remainder of the home.

### *Sensitive Locations*

Infrastructure items such as fiber optic lines may restrict access in certain portions of the neighbourhood. Please contact a representative from Aurora Heights to determine if there are any issues that may constrain construction or home use.

Lots adjacent to municipal reserves and/or environmental reserves (including parks, pathways, existing stands of mature trees or similar features) may require special consideration during construction. Construction access could be limited in some locations and stockpiling of soil or construction materials may also be restricted. House construction adjacent to community features such as fences, entry features or established landscaping may have restricted access or may require interim construction fencing. Owners of lots containing existing stands of trees are encouraged to leave at least a portion of the trees. A strategy should be developed to protect the trees during construction.



Site Construction - Limits and Setbacks



## ❖ *Home Design*

### *General*

The intent of these guidelines is to set a framework for creating coordinated and controlled variety within the community. One of the primary goals is to ensure that individual expression is maintained while fitting in and contributing to the collective enjoyment and benefit of the Aurora Heights community.

To assist in enhancing issues of variety, identical exterior designs may not occur within three adjacent lots on either side of the street, however, similar plans may be allowed if differences in exterior detail and colour will create sufficient visual variety. The primary house colour should not be repeated between three adjacent lots, however, homes that are significantly different in design, scale, and materials may be allowed to share similar colour palettes.

Houses should blend in scale, mass, and height when compared to neighbouring homes. Two storey and bi-level houses should have roof and design elements that bring the mass and height down, and allow a smooth transition to adjacent houses. Bungalows may need to be raised out of the ground and may need steeper roof pitches to blend with adjacent two storey homes.

For land uses other than single family, the general intent and scope of the architectural controls will apply, although the developer retains the right to adjust these guidelines to best suit the nature and location of the land use

### *Home Type and Size Requirements*

Minimum home sizes (above ground development not including garages) are as follow:

R1-L

(Large Lots)

must be a minimum of 1,400 sq. ft. for a bungalow, a minimum of 1600 sq ft for a two storey, and have a double front attached garage.

- R1-M (Medium Lots)  
must be a minimum of 1,200 sq. ft for a bungalow, a minimum of 1400 sq, ft for a two storey or modified bi-level home. Double front attached garages are required where no lane access is provided and where immediately adjacent to large lot homes. Please contact a representative from Aurora Heights to determine exact garage requirements;
- R1-S (Small Lots)  
must be a minimum of 900 sq. ft. Attached front garages are not allowed;
- R1SG (Small lot attached garage)  
must be a minimum of 1000 sq. ft. Attached front garages are required, but may not comprise more than 75 % of the front elevation;

## *Roof Pitch and Design*

Roof lines for these traditional forms of architecture can vary, however, to better blend housing styles and to buffer construction costs, medium roof pitches will be allowed.

All bungalow and bi-level homes will require a minimum of 6/12 roof pitches. Two storey homes must have a minimum 5/12 pitch and maximum 7/12 for the main body of the roof. Dormers should use steeper roof pitches where appropriate to the architectural design. Steeper roof pitches are encouraged (up to a 10/12 pitch) where appropriate, particularly on detail dormers.

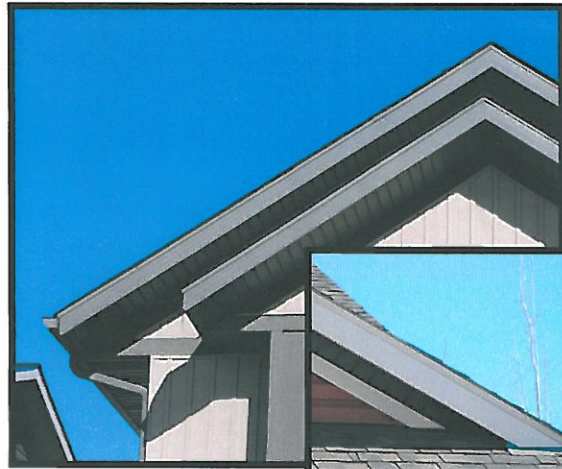
Roof lines for all building types should be designed as simple structures with dormers being used as design elements to break up roof and wall mass and add visual interest.

All categories of development should consider roof lines, wall heights, and design elements that will allow for a smooth transition between adjacent two storey homes and bungalows.

Eave lines for all categories may be a standard depth with eave lines on dormers reduced proportionate to the size of the dormer.

It is recommended that roof/eave construction utilize clean eave details, apron roof sections, or eave returns and avoid bulky ‘pork chop’ eaves where possible.

Roof trusses with raised heels are encouraged to provide more room at window heads and to better allow trim work and detailing.



Clean Eave Detail



Apron Eave Return



Partial Eave Return



Avoid Pork Chop Detail

## *Roofing Materials and Colours*

Roofing materials are generally intended to emulate wood shingles or slate. Selected shingles must be a raised profile architectural grade shingle unless otherwise noted. All roofing products must be a 25 year warranty shingle or better. Most shingle colours are acceptable, however, certain colour types will be excluded as not being consistent with the design and intent of the community. The specified shingles and excluded shingle colours are as follow:

**R1-S Lots****Architectural Lifetime Laminated Shingles**

GAF Timberline or exact equivalent

Excluded Colours (including equivalents): Hunter Green, Fox Hollow, and Patriot Red.

**R1-L and R1-M Lots****Architectural Lifetime Laminated Shingles**

GAF Armorshield or exact equivalent.

Excluded Colours (including equivalents): Hunter Green, Fox Hollow, and Patriot Red.

Please Note:

Matching ridge caps must be used. 3 tab shingle ridges are not allowed.

**General**

Wood Shakes are permitted in natural materials only (Cedar is recommended) and not stained or painted except to meet Building Code requirements.

Concrete roof tiles are allowed in flat profiles only in deeper colours to include beiges or blacks.

## *Proportion and Massing*

Overall composition should appear to be well connected to the ground and the core design should incorporate the basic concept of base, middle, and top. The effective use of materials such as stone/brick and design elements such as porches and railings can reinforce the desired characteristics of a well established home.

To support the effect of being solid and stable, front entry stairs should be no more than 1m or approximately five risers above front finished grade. Two storey homes in particular should be set lower (maximum three risers) into the ground in order to lower the apparent height, and avoid a tall unbalanced feel.

Cantilevers and bays as well as roof dormers should be used to break up the mass of the house, add visual interest and create focal points around entries and other important areas. Octagonal bays or turrets are accepted features provided they are detailed with a generous amount of windows, and have a dormer or turret roof detail above.

Window placement, cantilevered bays, roof dormers and similar detailing must be used to break up the side elevation mass for all homes located on corner lots. Entries and deck recesses are valuable tools to break up solid wall masses.

Two storey homes and/or homes built on walk-out lots in high visibility locations must avoid large flat wall and roof planes. Decks, bays, roof lines and other design detailing must be used to break up the overall mass and lower the apparent height.

## *Garages*

Front attached garages are required for all R1L lots, and the R1M lots as specified on individual phase maps and price lists.

Front attached garages are recommended for all other R1M lots in excess of 46 feet in width.

Three car garages must be offset on at least two planes with a minimum 12” recess. .

Garages must be located on the side of the lot as indicated by the driveway location plan and as indicated on approved grade certificates. Consideration may be given to allowing garage access from the side street on corner lots, where permitted by the town of Blackfalds.

Consistent with the heritage qualities of the architecture, garage doors should be designed with square corners. Garage doors must be paneled wood, metal, or fiberglass and should be set in from the sides corners of the garage by at least 12”.

Garage doors incorporating rectangular heritage style windows are encouraged. Garage doors should be painted to match the remainder of the house or be left white where it matches the trim colour.

Exposed side wall elevations of garages should incorporate a window to break up the mass and provide additional visual interest to the front elevation.

## *❖ Exterior Materials and Details*

### *Siding*

Applications for R1-L homes must show three different finish materials/textures: e.g. Siding and Shakes / Siding, Stone / Stucco Brick. All other land use types must include at least two different finish materials.

Horizontal siding will be the dominant exterior material used in Aurora Heights. Four (4) inch double, or three (3”) triple drop vinyl sidings are the preferred choices although Cedar, SmartBoard, or similar composite products can be used for detailing. Composite products such as ‘Hardi Plank’ for use as siding will be reviewed on an individual basis to ensure quality and consistency of application.

Where siding is used, corner battens and window trims (4” minimum) must be used to provide clean contrasting edges and to accent windows. Shadow bands are encouraged, and attic vent details are acceptable where space allows. Where shutters are used, crown and sill detailing may be used without side detailing.

### *Detailing*

Vertical board and batten siding is permitted as a gable detail and must be accomplished using real wood products or reasonable equivalent. Vertical vinyl siding is not an accepted application.

Wood shingles/shakes applied to walls are a desirable finish material that give a well crafted and traditional feel to a home and to the community. Shakes should be used generously on gable ends, bay window projections, verandah cladding, and eave detailing. Ornate decorative shakes/wood shingles are not encouraged.

Vinyl shake wall products are acceptable but should be installed in gable roof ends and similar select locations. Other composite shake materials will be reviewed on an individual basis.

Shutters are encouraged to support the traditional feel of the selected architectural styles. Shutters should be painted/stained in contrasting colours and should match front door colours where painted.



Siding/Shakes and Corbels



Brackets and Siding



Board and Batten



Battens and Shakes

## *Stucco and Parging*

Stucco is permitted throughout Aurora Heights, and must be installed as a smooth trowel application with no noticeable pattern.

Where stucco is used, it should be accompanied by stained wood batten trim and wood shingles as part of the detailing and decoration of the exterior. Stucco build-outs used as batten detailing must be managed carefully to achieve the desired appearance.

Exposed foundation walls and parging must be limited. Parging will generally be limited to a maximum of 2 feet above finished grade particularly for elevations facing public streets or public parks/pathways.

## *Brick and Stone*

Masonry construction renders qualities of solidity and permanence to a home and community. Brick and stone should be applied as detailing in a logical manner to provide a sense of base to homes, and should be used in sufficient quantities and concentrated to reinforce architectural detail. Masonry work should generally be concentrated around the base of the house, front entries, and bays rather than a minimum application on the face of garage.

Minimum applications for stone are as follow:

- R1L lots: 100 square feet of stone must be applied.
- R1M lots: 75 square feet of brick/stone is required.
- R1S lots: 50 square feet of brick/stone is required.

Brick and stone should be installed with a soldier course or water table at the top to better terminate the brick and reduce the feel of a veneer. Brick and stone must be returned a minimum of 18 inches on all side elevations.

Selected brick and stone should generally be earth tone in colour and feel as if it belongs to the local landscape or region. Bright red or deeply coloured bricks may not be acceptable in all applications.

## ❖ *Windows, Doors, and Entries*

### *Entries*

Front entry features are necessary to provide a strong identity for each home and to reinforce the importance of the front door rather than the garage as the dominant architectural form.

Where lot width and design allows, entries should be clearly visible from the street and should be generous in size while reflecting a human scale (maximum 1½ storeys). The use of large porches, columns, roof details and build-outs are encouraged to reinforce the sense of entry.

### *Windows*

House designs should use windows in either double hung or transom style arrangements. Windows must be vertically oriented and should be arranged in pairs or groups, particularly in large openings.

Windows must be equipped with mullion/muntin bars where facing public streets. Detailing to emulate double hung or transom style windows is strongly encouraged.

Where space allows, transom windows and side lights should be provided to enhance the impact of front entries and provide natural light.

Light fixtures should properly illuminate the front entry and make it prominent when compared to the garage.

Doors should be painted contrasting colours to reinforce the importance of the front entry and further reinforce the character of the community.



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Not This





Bow head or segmented arch windows are encouraged while semi-circular round head windows are not consistent with the heritage quality of the architecture. The placement of round head windows will be reviewed on an individual basis, particularly in high visibility locations

Cantilevered window sets and bays should be used to break up wall surfaces, particularly side elevations on corner lots. Small detail windows are suitable, but should be used sparingly as accents. Cantilevered bays should use skirting details, and corbelling to reinforce the detail and avoid a detached floating feel.

*Use Detail Banding on Cantilever Bays*

## *Colours*

Traditional or heritage colours are the desired palette, therefore most siding colours currently offered are acceptable. Stronger colour values for the main wall treatment are not encouraged and will be reviewed on an individual basis for suitability. House colours should be varied and high in contrast: medium-dark tones with light or white trim work, or lighter siding with dark eaves and detail.

Third colours are acceptable, particularly for shutters and front doors, and should reinforce the contrast or create contrast in some cases. Shutters and front doors are relatively independent elements and can provide visual interest and detail through deeper stronger colours.

Streaked or distressed appearance sidings, that emulate transparent stain on wood siding, are not accepted materials. Stucco, where allowed, should have the same traditional colour values as the rest of the community, trending towards beiges and greys. White stucco is not allowed due to staining and discolouration over time. Strong vivid stucco colours will not be accepted.

## ❖ Porches Decks and Chimneys

### *Porches and Decks*

Covered front porches or verandahs are positive aspects of architecture that reinforce the sense of entry to a home and promote social contact. Covered porches, and verandahs are encouraged in all areas of Aurora Heights.

Porches higher than 18” must incorporate deck skirting such as lattice, shakes, or siding as screening materials. Painted backing is recommended for all lattice in order to provide stability and to control nuisance insects and animals.

Pressure treated wood skirting is not an acceptable material due to the inability to stain at time of construction and the long term distressed and unmaintained nature of the product. Pressure treated wood is, however, an acceptable decking material



Encouraged Column Types



Not This

Porch columns must be proportioned to match the remainder of the home. Single 4 x 4 wood posts will not provide sufficient mass to balance the composition of the house. All porch columns must be square in profile, and must be painted or stained to match the house. Stained wood detailing or smart board detailing is preferred to metal clad posts.

Porch and deck columns must use detailing at the base and top to add visual mass and to add interest. Plain metal clad columns are not an acceptable detail. Columns constructed of stone, built-out bases, and canted wood tops are strongly encouraged.

All columns, rails, and fascia boards for front porches must be stained or painted to match the remainder of the house.

Where rear yard space allows, covered porches and screened porches are accepted and encouraged. Lattice detailing, pergolas, or similar screening may be used to promote privacy or better manage issues of weather. Where such detailing is used, municipal bylaws must be met at all times and all detailing must be painted or stained to match the house.



Avoid Tall and Ill Proportioned Columns

## *Chimneys*

Exterior chimneys have been integral elements of heritage period homes. Full height exterior chimneys are encouraged for all houses, and should be articulated near the base to provide visual interest and break up the mass.

Exhaust venting from high efficiency furnaces must be placed in a discrete location and will not be allowed to protrude toward adjacent entries decks and living areas. Where provided, furnace flues on all homes in Aurora Heights must be boxed in and finished with siding/stucco to match where visible from a street or located on a park or public pathways.

All framed chimneys should be finished with horizontal trim details at the top of the chimney. Horizontal venting for gas fireplaces should be placed in discreet locations to avoid the negative visual impact.

## ❖ *Site Improvements*

### *Driveways, Sidewalks, and Retaining Walls*

All driveways and sidewalks located in front or side yards exposed to public streets must be finished with concrete. Decorative concrete edging is encouraged.

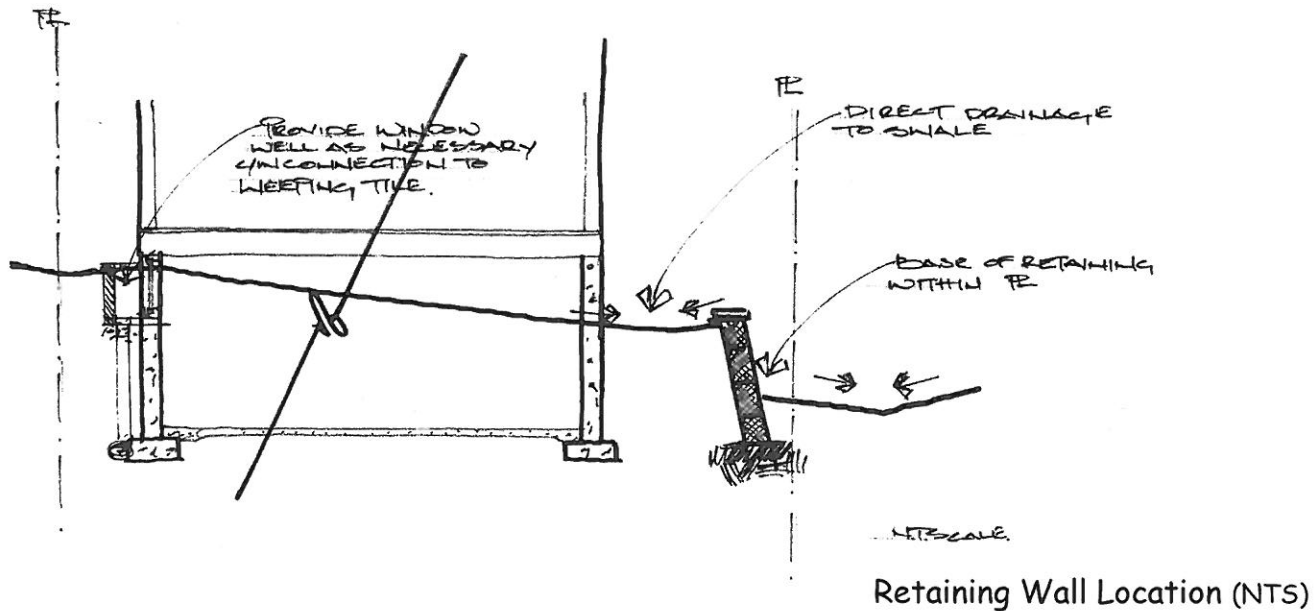
Sleeving and permanent access to water shut off valves is required where extra driveway widths are constructed or any situation where concrete covers the water shut off valve. It is strongly encouraged to test water valves before placing concrete driveways.

Driveways should extend equal to the face of the garage or slightly beyond. Except in some cul-de-sac situations, a landscape buffer should always be retained between driveways. Driveways built to side yard property lines are not encouraged.

Driveways and sidewalks built from paving stones must be properly constructed to ensure that all surfaces are level and that minimum settlement occurs. Driveway slopes in excess of 8% are not recommended. Driveway slopes in excess of 10% are generally not acceptable and will be reviewed on an individual basis.

Retaining walls must be contained entirely on the building lot. Retaining walls or similar landscape features cannot interfere with the engineered grading plan as determined by the approved Grade Certificate and the overall subdivision grading plan. Construction of any retaining walls must continue to ensure that surface drainage is contained and directed in accordance with Alberta Building Code requirements and good construction practices.

Retaining walls, as may be required, are the responsibility of the builder and/or homeowner and should be built from stone or suitable manufactured materials such as Allan Block. Treated landscape timbers will be reviewed on an individual basis for acceptability. Creosote treated landscape timbers are not an acceptable or appropriate building material. Retaining walls in excess of 1m in height are not permitted and must be terraced to achieve the desired effect.



## ❖ Detached Garages and Accessory Buildings

### Detached Garages

Detached garages in rear yards are generally permitted where lane access is provided. Detached garages must be finished and detailed (same siding colour, shingles, etc.) to match the home. Detached garages may be restricted on high visibility lots or walk-out lots or on lots where rear access is prohibited. Please contact a representative from Aurora Heights to determine if any restrictions will apply.

Municipal Bylaws and standards will apply to the placement of detached garages and accessory buildings. Please contact adjacent neighbours to ensure the best placement of garages to avoid potential conflict.

Detached garages are allowed on lots with no rear lanes, if in the opinion of Aurora Heights management, side yard or drive through access can be provided with little negative impact to adjacent properties.

### *Accessory Buildings*

Accessory buildings such as garden sheds are permitted, provided they do not block sight lines for neighbouring properties or create unsightly situations. As with garages, please communicate with neighbours to determine the most suitable location.

Small pre-manufactured sheds do not require review provided they are no taller than 7 feet in height and are no larger than 100 square feet. Any shed larger than these dimensions must receive Architectural Controls Approval and be finished to match the home.

Homes adjacent to public parks and pathways may require additional detailing on sheds to ensure a compatible fit within the community.

Municipal Bylaws will apply regarding permits for the location and construction of accessory buildings.

### *❖ Landscaping*

Landscaping completion should occur within two years of occupancy. The expected completion level to allow return of the landscaping security deposit is front yard sodding / planting, and the completion of all fences on site.

A desirable measure of landscaping/planting, as a minimum, is approximately 5% of home construction cost.

## *Fences*

Rear and side yard fences are encouraged for all homes. Homes in some locations will have vinyl fences installed as part of subdivision construction. Home owners on these lots must blend to match these heights and fence design. Installation of matching vinyl fences on side yards is strongly encouraged.

Homes in all remaining portions of the subdivision may select from three design options, as detailed in Appendix 'B'. Fences may be constructed of either wood or vinyl. All fences must be painted/stained white, or pressure treated and should be built between 5 feet and 6 feet in height except where limited by municipal bylaws. Pressure treated fences should be stained/painted white within three years of installation.

Please coordinate fence designs, cost sharing, and locations with neighbours in order to avoid potential conflicts.

## *Trees and Shrubs*

While there are no required or recommended species for Aurora Heights, hardy flowering species are strongly encouraged. Trees planted in front yards should be a 2 ½ inch caliper as a minimum size. Coniferous trees must be at least 6 feet in height.

Please avoid planting invasive, suckering, or messy trees. Varieties of Poplar, Willow, Caragana, and Maydays are examples of trees and shrubs that should be not be used. Also avoid planting trees where future growth will interfere with neighbouring homes, buried and above ground infrastructure, vehicle access, pedestrian access, or sight lines.

It is strongly encouraged that at least one tree be planted in each front yard where space allows. In some cul-de-sac situations, planting locations may need to be coordinated between neighbours to achieve the desired effect of a mature and developed landscape.

Homeowners are encouraged to supplement tree planting with flowering shrubs, planting beds, gate arbours, and other traditional landscaping strategies.

## ❖ *Miscellaneous*

### *Secondary and Non Residential Uses*

Secondary/Accessory suites must meet Town of Blackfalds requirements. **Notwithstanding Land Use criteria, Aurora Heights has pre-determined specific locations for secondary suites to avoid potential conflict and to minimize the impact of these uses.**

Other than where noted on approved plans, commercial uses are discouraged except for low impact/low visitation Home Occupations. Home Uses, including Bed and Breakfast Operations must meet Municipal Bylaw requirements including all permits, fees, and notification. It is strongly recommended that all Home Occupation or Bed and Breakfast proposals gain approval prior to construction; any specific construction done in advance of approval is done so at risk.

No more than one commercial vehicle may be stored in the front yard or driveway of any property between any building face and the adjacent curb of a public street. Vehicles larger than one (1) ton must be stored within a garage or must be similarly screened .

### *Address Plates, Numbers and Signage*

Address plates or numbers must be complimentary to the home. Address plates and numbers must be between 7 inches and 9 inches in height in a traditional font. Address numbers may be brass, pewter, or black.

Sign plates are discouraged and any commercial signage is not allowed except where required by Municipal Bylaw or Permit. Where signage is required by Bylaw, appropriate design will be reviewed on an individual basis.

### *Lighting*

Outside lighting should be used carefully and not over-illuminate. Carriage lights are acceptable and should match traditional period lighting where possible.

The use of pot lights in lieu of carriage lights is accepted, however eave lighting should accent architectural details and front entries. All lighting should seek to de-emphasize garage doors.



## Satellite Dishes

Large diameter satellite dishes in excess of 24" are not acceptable. Small diameter satellite dishes must be placed in a discreet location that does not detract from the architecture and must not create an eyesore for neighbours. Satellite dishes may not be mounted on front elevations or any portion of the roof visible from the front street. Fence mounted satellite dishes are not acceptable.

## Recreational Vehicle Storage - Supplemental parking

Parking pads in any front yard or exposed side yards, other than driveways leading to attached garages, will not be allowed. Access to supplemental parking/vehicle storage in rear yards must be from lane ways. Rear yard parking pads must be screened or otherwise discreet, particularly for oversized vehicles.

Supplemental parking or recreational vehicles storage is not allowed in the rear yard of walk-out lots, or lots backing onto public parks or pathways.

Recreational vehicles, or trailers of any kind, (including boats, snowmobiles, and ATV's) should not be stored in the front yard or driveway of any property between the building face and adjacent curb. Recreational vehicle storage in rear yards is generally acceptable and should be screened where possible. Please contact neighbours to determine a suitable location in order to avoid potential conflicts. Storage of recreational vehicles in side yards is not accepted.



Landscape Planting to Screen RV's and Sheds

## ❖ *Approvals and Construction*

### *Application Process*

All new homes and exterior revisions to homes within a three year period must receive architectural control approval prior to starting construction or renovations. A general overview of the application process and information needed is as follows:

**Step 1:** After selecting your lot and signing all necessary contracts, you will be given the following information when available: Building Grade Certificate, Garage Location/Setback Plan, and Architectural Controls. A copy of the relevant survey information is available from the Aurora Heights office.

Review the condition of your lot and adjacent streets, sidewalks and fences on a frequent basis. Report any damage as soon as possible. Lot owners are responsible for any damage that may occur after possession (building permit availability).

**Step 2:** After designing your house plan, arrange for a preliminary meeting if it is felt there are any uncertainties or to clarify any design items. A preliminary meeting may be beneficial to determine any required changes before final blueprints are ordered and to minimize construction delays.

After making any final revisions, order a survey plot plan indicating the location of the proposed home on your lot. In conjunction with your builder, surveyor and/or concrete contractor determine the design grade for Top of Joist and Top of Footing in accordance with the approved Grade Certificate.

**Step 3:** Submit a completed architectural controls application form to the Aurora Heights office along with a survey plot plan and **Four (4) sets of house plans** for review. The review and approval process typically take no more than 2 working days (upon receipt) assuming there are no significant issues or required changes.

**At the time of picking up approved drawings, a security deposit in the amount of \$ 2,500.00 is required.** Architectural Control approval drawings will not be released until security deposit payment is received.

*Step 4:* Retain one set of approved drawings for your own records and submit all necessary drawings to the Town of Blackfalds for Building Permit review. Best of luck with construction.

**Please Note:** Significant changes to the exterior of the house during the course of construction will require approval prior to implementing those changes during construction.

*Step 5:* Upon completion of the house and landscaping (placement of black dirt), contact Aurora Heights for a request for inspection. Complete the form and submit, complete with final Building Permit (occupancy) inspection. If weather conditions allow, upon receiving this request, Aurora Heights will conduct a review of the property and adjacent infrastructure improvements. Presuming the house is completed per approved plans and there is no damage to items such as streets, sidewalks, water services, and adjacent parks and pathways, the security deposit of \$2,500.00 will be refunded. Any non-compliance or damage to listed items will be deducted from security deposit funds and the retained funds will be used to rectify any deficiencies. In lieu of a physical inspection, Aurora Heights will accept a signed verification from the Town of Blackfalds that their development permit security deposit has been refunded.

*Step 6:* It's time to move in !! Enjoy your new home and have fun watching the community grow.

## ❖ *Site Management*

All construction sites must be managed in a clean and professional manner. Lot owners / builders are responsible for keeping the lot clean and orderly during construction. The use of garbage bins is encouraged to collect non-recyclable products. Builders found negligent will be back charged for any cleaning carried out by Aurora Heights.

The developers of Aurora Heights strongly encourage recycling/repurposing and product diversion to reduce impact to local landfill sites.

There will be no burning of garbage.

## *Inspections and Security Deposits*

A security deposit of \$2,500.00 is required to ensure compliance with the Architectural Controls, ensure appropriate home and landscape completion, and to remedy any damage to streets, sidewalks, water services, pathways, or similar adjacent property.

All security deposit funds will be returned assuming compliance with approved plans, substantial completion of landscaping, and assuming there is no damage to adjacent property. **Responsibility for the lot and adjacent property begins with ownership of the lot.** Please review the condition of your lot and adjacent streets sidewalks, fences, etc. on a frequent basis. Report any damage to the developer as soon as possible.

The developer retains the right to reasonably determine damage and the cost of repairs, and to deduct from security deposit funds, and/or invoice the affected owner accordingly.

## ❖ *Appendices*

- *Fence Types*
- *Application Form and Process Sheet*